

Pathways

MURRAY BRIDGE

URBAN DESIGN GUIDELINES

October 2020
Edition

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1 INTRODUCTION

Located in picturesque township of Murray Bridge, your home at Pathways is close to, schools, shopping, cafes, sporting facilities and the Murray River. Your new home will be part of a community that offers an enviable lifestyle choice for you and your family.

How you design, build and landscape your new home will be a fundamental part of the enjoyment and appreciation that you and others will derive as part of this growing community.

AVJennings is committed to delivering a dynamic, visually stimulating and highly aesthetic built environment which responds to the unique qualities of Murray Bridge, capturing the cultural heritage of the town and its proximity to the river with an emphasis on enhancing the quality of life of Australians at home.

1.1 Purpose

The Pathways Urban Design Guidelines have been prepared to encourage the creation of an attractive, high quality residential environment and to protect the amenity and investment of residents.

The choice of allotment sizes and housing types creates the need for housing development to be consistent with a set of design guidelines. A set of required standards will achieve this objective and ultimately protect the rights of individual residents in regard to surrounding development within the estate.

When designing and siting your home, these guidelines need to be taken into account to enhance the overall quality and character of Pathways and residents' enjoyment of their newly designed and constructed homes.

Please ensure that you read and understand these guidelines carefully and remember that they are written and administered for the betterment of the Pathways estate and are in place to protect the investment of both you and your neighbours.



2 THE PROCESS – HOW THE URBAN DESIGN GUIDELINES APPLY

When you purchase an allotment of land within Pathways, an Encumbrance is attached to the title which requires that prior to any development of the allotment, approval must be sought and obtained from the Project Manager of Pathways.

All development at Pathways must conform to the Urban Design Guidelines, and this includes new house construction as well as renovations, and the development of outbuildings and fixtures.

If applicants are unsure of whether or not their proposed dwellings meet the requirements of the Urban Design Guidelines, a sketch plan should be prepared and submitted to the Project Manager for preliminary discussion prior to finalising drawings and specifications. This is aimed at streamlining the approval process and avoiding costly redesign work.

In assessing applications relative to the Urban Design Guidelines, the Project Manager may agree to approve proposals that vary from the guidelines providing that the changes do not detrimentally affect the quality and character of the development.

In particular, care should be taken to ensure that house designs are suitable for the particular orientation of the allotment. Factors that should be taken into account when selecting a house design include orientation of the dwelling on the allotment, solar access to the main family living areas, relationship between living spaces and private garden areas, and position of driveways/garages in relation to the predetermined driveway crossovers as shown on the Allotment Development Plan (ADP).

Having obtained approval from the Project Manager, in terms of conformance to the Urban Design Guidelines (the plans will be 'stamped' and returned to the applicant), the applicant will then need to lodge the necessary applications with the Murray Bridge Council to receive planning/building approval pursuant to the Development Act 1993 and the Development Plan.

Murray Bridge Council is not party to these Guidelines and therefore will not be responsible for enforcement.



Once the Pathways Project Manager has granted approval, applicants should submit the following documentation to Murray Bridge Council for consideration under the Council's Development Plan:

- approved 'stamped' plans and supporting documentation;
- a Development Application for planning and building approval; or private certification (building approval);
- the relevant application fee;
- and other information as required by Council.

Note that Murray Bridge Council will assess applications with respect to Planning and Building requirements, and therefore sufficient documentation will be required to allow Council to properly consider each application against the requirements of the Development Plan. From time to time amendments are made to Council's requirements; therefore these guidelines may change accordingly.

Following this procedure will ensure a streamlined approval process with both the Project Manager of Pathways and Murray Bridge Council.

Applications for approval under the provisions of the Pathways Urban Design Guidelines should be forwarded to:

Pathways Project Manager
c/o AVJennings Properties Limited
Level 2 / 18 Dequetteville Terrace
Kent Town SA 5067

or

Pathways Project Manager
PO Box 2218
KENT TOWN SA 5071

or

email

mlyons@avjennings.com.au and
plescano@avjennings.com.au



3 SEEKING APPROVAL

3.1 Building Approval

Plans for all building works are to be provided (preferably emailed) to the Pathways Project Manager and must consist of:

A Siting Plan – a scaled and dimensioned layout plan of the allotment showing the location and overall dimensions of the dwelling and garage, out buildings, rain water tanks, setback distances from all allotment boundaries, details of all cut & fill, paved surfaces and garden areas, proposed fences, retaining walls, dimensions, contours, location and construction material of driveway and relevant site levels.

3.2 Time Limits

To enable communities to establish quickly, all dwellings, garages and fences (including retaining walls if required) must commence within 36 months after the date of settlement of the allotment and complete within 24 months from commencement.

4 SITING YOUR HOME

4.1 Site Coverage

Only one dwelling is permitted on each allotment.

4.2 Setbacks

4.2.1 Front Boundary Setbacks

Dwellings are required to be set back a minimum of 6 metres from the front boundary (unless indicated differently on the Allotment Development Plan) to the main line of the building; but excludes elements projecting from the wall, such as windows, verandahs, porticos etc. Should any of these elements have a greater depth than 1.0m, the setback to the front of the home will need to increase to ensure these protrusions do not extend forward of 5.0m from the front boundary. Garages and carports must be sited in line with or behind the main line of the dwelling.

If the garage width is greater than 50% of the width of the house, the garage must be setback 500mm from the front line of the building.

4.2.2 Building on the Side Boundary

The maximum length of a garage wall located on the side boundary should be 7.0m.

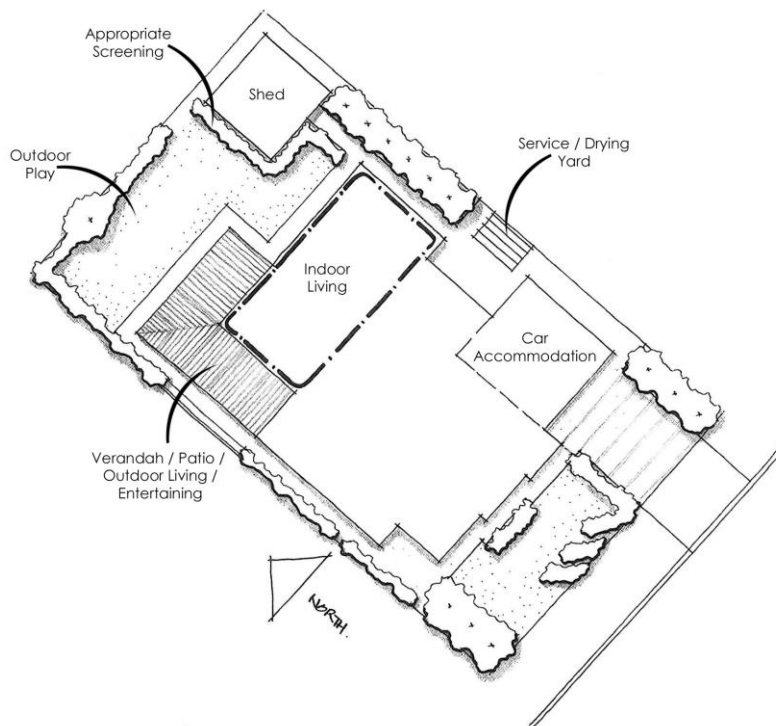
Walls of dwellings (excluding garages and carports) may be constructed on one side boundary provided that:

- (a) It is indicated on the allotment development plan;
- (b) the side boundary does not abut a public road or public reserve;
- (c) they are located on the same side of the allotment as the associated garage or carport;
- (d) the total length of wall on a side boundary (inclusive of any garage/wall or length of carport) does not exceed 12 metres;
- (e) they have a maximum height of 3.0 metres; and
- (f) they are constructed using materials identical to the predominant materials of the external walls of the associated dwelling.

4.2.3 Rear Boundary Setbacks

The setback to the rear boundary is a minimum of 3.0m metres for single storey dwellings (unless indicated differently on the allotment development plan). For two storey dwellings the setback from the rear boundary to the upper floor is a minimum of 8 metres.

Consider the creation of dedicated spaces for different uses as shown below:



5 FENCING

Colourbond fences between adjoining allotments must not extend beyond the main building line of the dwelling to the front boundary unless there is a front fence. Any portion of the boundary fence forward of the main building line of the dwelling must be constructed in the same style, same height and of the same materials as that of the front fence and must not be erected prior to the front fence being installed. Where two adjacent buildings have varying setbacks to the road, the fence must not extend beyond the main building line of the house with the lesser setback. The main building line of the dwelling is the front wall, which does not include porches, porticos and verandahs.

5.1 Colour

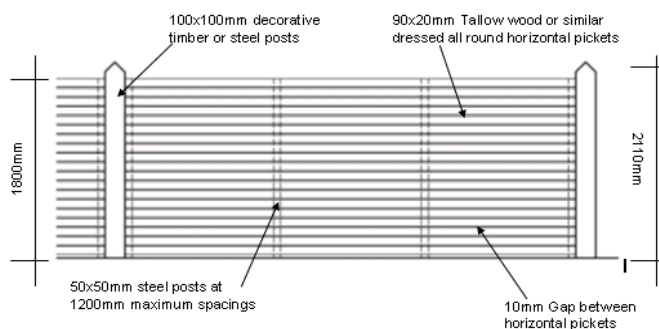
Standard boundary fencing between neighbours must be 'Good Neighbour' style pre-factory colour coated steel, 1.8m in height and Riversand (colorbond) in colour. Alternative manufacturers with a similar colour will need to be approved by the Pathways Project Manager.

5.2 Corner Allotments

Fencing on the secondary street boundary of corner allotments must be a minimum of 'Good Neighbour' style pre-factory colour coated steel as described in 5.1 above however decorative fencing of secondary street boundary of corner allotments is highly encouraged.

Boundary fencing is not permitted to extend beyond the main building line of the dwelling. In accordance with this clause, any fencing forward of the main building line of the dwelling must be consistent with the front fencing requirements.

Examples of decorative fencing include rolled top brush, masonry and timber fencing; a typical example of timber fencing is shown below.



Timber corner fencing detail. Figure 8.

5.3 Front Fences

Should a front fence be desired, front fences should be a maximum of 1.5m high and generally be of an open appearance.

Front fences in the form of a hedge or with hedge in fills are encouraged as an attractive alternative to conventional fences.

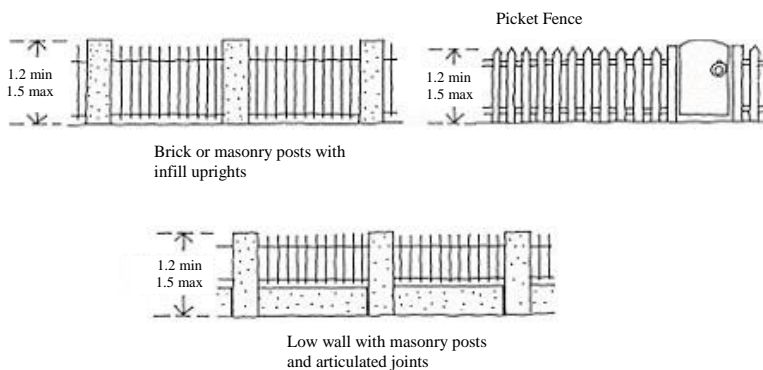
Front fences can be constructed of:

- Tubular steel fencing with masonry pillars.
- Timber, steel or aluminium pickets; or
- Piered brick or masonry posts with timber, steel or aluminium infill.

Other styles may be considered on merit.

Fence posts (excluding masonry pillars) should have a minimum dimension of 100mm x 100mm.

All front fences forward of the main building line of the dwelling require the approval of the Pathways Project Manager.



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